

Bombing Target 4 (BT 4) Prioritization Scorecard

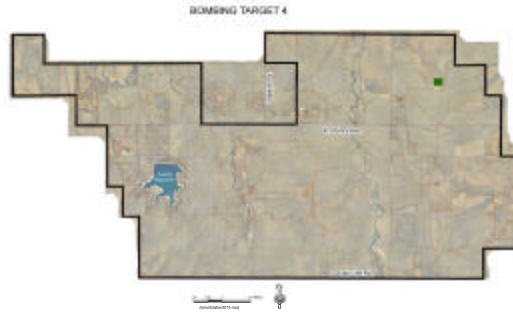
Description: Historical accounts of the BT4 area indicate that it was used as a bombing target during World War II.

Location: BT4 is located on private property (in Section 36, T4SR64W). The target area is located in a winter-wheat field approximately 2 miles north of East Quincy Avenue near the northeastern extent of the range.

Extent of Area: BT4 is approximately 92 acres in size.

Clearance Resource Estimate: 11 workweeks

Clearance Considerations: BT4 is accessible year round. Clearance activities must be coordinated with wheat planting and harvesting to minimize damage to crops.



Bombing Target 4 Prioritization Scoring

Criteria	Infrastructure	Overall Hazard	Type of Hazard	Land Use	Environmental Impacts	Cost	Access	Economic Impacts	Legal Restrictions	Total Score
Weighting	0.179	0.152	0.145	0.138	0.131	0.083	0.069	0.055	0.048	
Score	25	75	75	100	25	25	25	25	25	50.2
Priority Factor	4.475	11.400	10.875	13.800	3.275	2.075	1.725	1.375	1.200	

Bombing Target 4 (BT4) Prioritization Criteria

Infrastructure: [25] The area has not been identified as a utility or transportation corridor. If developed, roads and utilities must be extended to the site from adjacent development. There are no known infrastructure corridors at BT4 that would precede or preclude other development in the area.

Overall Hazard: [75] Live ordnance hazards have been confirmed on the surface and subsurface of BT4. Ordnance hazards found at the site include incendiary bombs, incendiary cluster bomb initiation fuzes, and practice bombs. The overall hazard for BT4 is considered elevated due to the live ordnance previously found. Minimal information with respect to the types of ordnance hazards at BT4 is currently available. A limited number of test grids have been dug, due to the prior planting of wheat in the field. As a large bomb target, it is possible that additional UXO hazards, besides those confirmed to date, are present. The area is not currently used for winter-wheat farming. The farmer has removed a significant amount of ordnance debris from BT4 while farming the site. The site is accessed via a private paved road from East Quincy Avenue. A heavy construction equipment training facility is located immediately south of the BT4 area. Likely people to be exposed to ordnance hazards include the wheat farmer, hunters, students from the construction training facility, and residents from adjacent residential areas.

Type of Hazard: [75] Ordnance hazards identified at BT4 include M69 incendiary bombs, fuzes, and spotting charges from 3-pound and 100-pound practice bombs. Incendiary bombs contain white phosphorus (WP) bursters and fuzes that are very sensitive/volatile; uncontrolled exposure is very hazardous. Practice bombs may contain live spotting charges. Spotting charges generally require mishandling or abuse to ignite and would result in a lower-level, localized hazard. There is some uncertainty as to the concentration and types of hazards at BT4. Evidence of high explosive bombs, including craters and shrapnel, has been found at the site. A detailed subsurface field investigation has not been conducted. Deep (> 4 ft.) subsurface anomalies were identified at the target when test grids were dug, but the anomalies were not investigated. The anomalies may be magnetic rocks in the area or large bombs that penetrated deeper into the soil. A limited amount of large, heavy bomb fragments have been found at the target.

Land Use: [100] BT4 has historically been used for winter-wheat farming. Intrusive activities from wheat farming are generally limited to the top 6 inches of soil. The future land use of BT4 is currently undetermined. Anticipated future land use is low-density residential development, consistent with the surrounding area. The timing of future development of the property is undefined but could occur rapidly. Surrounding properties are currently being developed as residential property (e.g., West Sand Creek Estates is directly north of the property and consists of 9 lots zoned A-1).

Environmental Impacts: [25] The site is currently a dry land, winter-wheat field. The cleanup of BT4 is not expected to adversely impact local wildlife.

Cost: [25] The estimated cost to complete the clearance of BT4 is approximately \$1.4 million. The percent complete is 0%.

Access: [25] The target is approximately 2 miles north of East Quincy Avenue and can be accessed via a private paved road off of East Quincy Avenue. Barbwire cattle fence and a private road sign at East Quincy Avenue control access to the area. Significant land uses adjacent to BT4 include 35-acre residential properties 1 mile to the north, east, and west. A heavy construction equipment and truck driver training facility is located immediately south of BT4. Titan Missile Complex 1C is immediately to the northeast of the target area. BT4 is not visible from public roads but is visible from the private paved road.

Economic Impacts: [25] This site is privately owned. The site owner could incur economic impacts from delayed development plans, reduced property value, and/or loss of income from farm lease during cleanup. The site is not currently planted for winter wheat.

Legal Restrictions: [25] BT4 is privately owned. There are no legal restrictions on the use of the site. Low-density (35+ acre) residential development can occur without zoning or subdivision action. Local government approval is limited to building and septic permits.